


Inspector: M

File No.

Rec. No. **72**Date Permit Issued **2 / 4 / 85**

OWNER
Name NW & na Hayes
Mailing Address 10 Neta Road
R.D.1.
Potava

BUILDER
Name owner
Mailing Address
 BC C030664

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE
Street No. 45
Street Name Jeanne Greary
Town/District
Riding

LEGAL DESCRIPTION
Valuation Roll No. 655/947
Lot 39 D.P. 17385
Section Block
Survey District

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

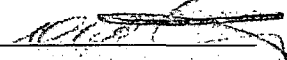
Carport only

FLOOR AREA	DWELLING UNITS
Whole Sq. Metres 110.92 m²	Number Erected

ESTIMATED VALUES	
Building	2,450.00
Plumbing	
Drainage	
TOTAL	2,450.00

NATURE OF PERMIT (TICK BOX)
<input type="checkbox"/> NEW BUILDING - exclude domestic garages and domestic outbuildings
<input type="checkbox"/> FOUNDATIONS ONLY
<input checked="" type="checkbox"/> ALTERED, REPAIRED, EXTENDED - include conversions and resited buildings
<input type="checkbox"/> NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions
<input type="checkbox"/> DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ 30.00	Water Connection	\$	Receipt No. 72
Street Damage Deposit	\$	Vehicle Crossing Levy	\$	Date of Payment 24 / 4 / 85
Building Research Levy	\$	M.S. Plumbing	\$	Authorised Officer 
Plumbing	\$		\$	
Drainage	\$		\$	
Sewer Connection	\$		\$	
		TOTAL:	\$ 30.00	

Special Conditions:

Date Inspected

REMARKS (e.g.-stage reached with work)

24/7/85**completed**

[illegible]

COMPLETED (Signature) _____ Date _____/_____/_____

3 April 1985

N.W. & M.A. Hayes
R.D. 1
ROTORUA

Dear Sir

PROPOSED CARPORT
LTO 39 - DPS 17385
45 JOANNE CRESCENT

Receipt of your application for the above is acknowledged. Perusal of the plans and specifications has raised the following point which is hereby drawn to your attention.

Structural:

Rafters and beams do not comply with N.Z.S. 3604.

Receipt of your advice in respect of the above matter will enable your application to be more fully considered.

Yours faithfully

D.J. McArtney
SENIOR BUILDING INSPECTOR

APPLICATION NO. 218

DATE RECEIVED 19/3
(DEPOT STREET)

	Date	Initials
Site Plan Draughting	20/3/85	hdk.
Engineering (Design)		
Engineering (Sewerage/Stormwater)	27/3/85	vl
Engineering (Water)	26.3.85	vl
Returned to Amohau Street	28/3	aan

Perusal of the plans and specifications has raised the following points :

Structural.
Rafters and beams do not
comply with N253604.
P.M. 25/3/85

NOTE: Please briefly describe the problem so the applicant can be advised by letter. It is suggested that the applicant be advised to make contact with a particular Officer to discuss the fault and remedy.

14.3.85

ROTORUA DISTRICT COUNCIL

BUILDING APPLICATION FORM

Received ~~28-2-85~~
File Number 655/947
Application No. 018
Date 28-2- 1985

I hereby apply for permission to erect, repair, alter, extend a building at No. 45 Joanne Cres
ROT. (Address) for

Mr/Mrs N.W. & M.A. HAYES of Te Weta Rd R.D.1 ROT.
(Owner) (Address)

according to locality plan and detailed plans, elevations, cross sections, and specification of building deposited herewith in DUPLICATE (see reverse side).

PARTICULARS OF LAND

Lot No. 39 D.P. No. 17385
Area: Zoning: 1

PARTICULARS OF USE OF BUILDINGS

Proposed purpose for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose, i.e., shop, factory, dwelling, office, carport, etc.)

SE Carport

Area of ground floor 40.92 m² Estimated value:
Gross floor area Building work \$
Area of accessory buildings Plumbing & Drainage \$
Builder's name Self Total \$ 2450
(Please Print)
Signature of Applicant N.A. Hayes
Address Te Weta Rd R.D.1 Rot
Phone No. 31-521

FOR OFFICE USE ONLY

Application checked and approved by: Building Inspector <u>[Signature]</u> Date <u>15/4/85</u> Town Planning Officer <u>[Signature]</u> Date <u>15/3-85</u> Plumbing & Drainage Insp. <u>Ray B</u> Date <u>1-4-85</u> Structural Engineer Date	Health Inspector <u>[Signature]</u> Date <u>1.4.85</u> Dangerous Goods Inspector <u>[Signature]</u> Date <u>29.3.85</u> Geothermal Inspector <u>[Signature]</u> Date <u>29.3.85</u> General Inspector <u>[Signature]</u> Date <u>29.3.85</u>	Issue of Permit Approved <u>[Signature]</u> Engineer Date <u>15/4/85</u>
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SUBJECT	APPLN No.	PERMIT No.	DATE	VALUE	FEE
Building				\$ 2450.	\$ 30.00
Plumbing				\$	\$
Drainage				\$	\$
Water Connection				\$	\$
Damage Deposit				\$	\$
Vehicle Crossing				\$	\$
Sewer Connection				\$	\$
Building Research Levy				\$	\$
Development Contribution				\$	\$

Date 24-4-85
Receipt No. 72
TOTAL: \$ 30.00.

FEEs PAYABLE ON THE ISSUE OF ANY BUILDING PERMIT

according to the Estimated Value of Work

Estimated Value of Work	Fees
Not exceeding \$800	— \$15.00
Over \$800 and not exceeding \$1,600	— \$20.00
Over \$1,600 and not exceeding \$1,800	— \$25.00
Over \$1,800 and not exceeding \$2,000	— \$27.00
Over \$2,000 and not exceeding \$2,500	— \$30.00
Over \$2,500 and not exceeding \$3,000	— \$33.00
Over \$3,000 and not exceeding \$3,500	— \$36.00
Over \$3,500 and not exceeding \$4,000	— \$39.00
Over \$4,000 and not exceeding \$5,000	— \$43.00
Over \$5,000 and not exceeding \$6,000	— \$47.00
Over \$6,000 and not exceeding \$7,000	— \$52.00
Over \$7,000 and not exceeding \$8,000	— \$57.00
Over \$8,000 and not exceeding \$9,000	— \$62.00
Over \$9,000 and not exceeding \$10,000	— \$67.00
Over \$10,000 and not exceeding \$12,000	— \$72.00
Over \$12,000 and not exceeding \$14,000	— \$78.00
Over \$14,000 and not exceeding \$16,000	— \$85.00
Over \$16,000 and not exceeding \$18,000	— \$95.00
Over \$18,000 and not exceeding \$20,000	— \$104.00
Over \$20,000 and not exceeding \$25,000	— \$124.00
Over \$25,000 and not exceeding \$30,000	— \$145.00
Over \$30,000 and not exceeding \$35,000	— \$165.00
Over \$35,000 and not exceeding \$40,000	— \$186.00
Over \$40,000 and not exceeding \$50,000	— \$214.00
Over \$50,000 and not exceeding \$60,000	— \$241.00
Over \$60,000 and not exceeding \$70,000	— \$269.00
Over \$70,000 and not exceeding \$80,000	— \$296.00
Over \$80,000 and not exceeding \$90,000	— \$324.00
Over \$90,000 and not exceeding \$100,000	— \$351.00
Over \$100,000 and not exceeding \$120,000	— \$379.00
Over \$120,000 and not exceeding \$140,000	— \$406.00
Over \$140,000 and not exceeding \$160,000	— \$434.00
Over \$160,000 and not exceeding \$180,000	— \$461.00
Over \$180,000 and not exceeding \$200,000	— \$489.00
Over \$200,000 and not exceeding \$240,000	— \$544.00
Over \$240,000 and not exceeding \$280,000	— \$599.00
For every \$40,000 or part thereof in excess of \$280,000 an additional fee of	— \$28.00

NOTE—The permit fee for the installation of free-standing fire places, pot belly stoves, or log fires is **\$12.00**.

BUILDING RESEARCH LEVY

A building research levy based upon \$1 per \$1,000 or part thereof of total permit value requires to be paid. Permits of a lesser value than \$10,000 are exempt from this levy.

IMPORTANT

PLANS AND SPECIFICATIONS

All builders should be conversant with the Building Bylaws wherein the requirements regarding drawings are stipulated.

Any applications not complying will not be accepted.

It is an offence to start building work before a permit is issued.

All plans must be drawn in metric to scale.

SITING OF BUILDINGS

It shall be the responsibility of the Owner of the land and the Builder to ensure that siting of all buildings conforms with the requirements of the District Planning Scheme and the Building Bylaws.

DAMAGE DEPOSIT

The amount of the damage deposit referred to overleaf is necessary to ensure that the value of any damage that is caused to public property during construction operations is recovered from the main contractor, or applicant, as the case may be. The amount is to be regarded purely as a deposit and will be refunded or adjusted upon application at the completion of the work.

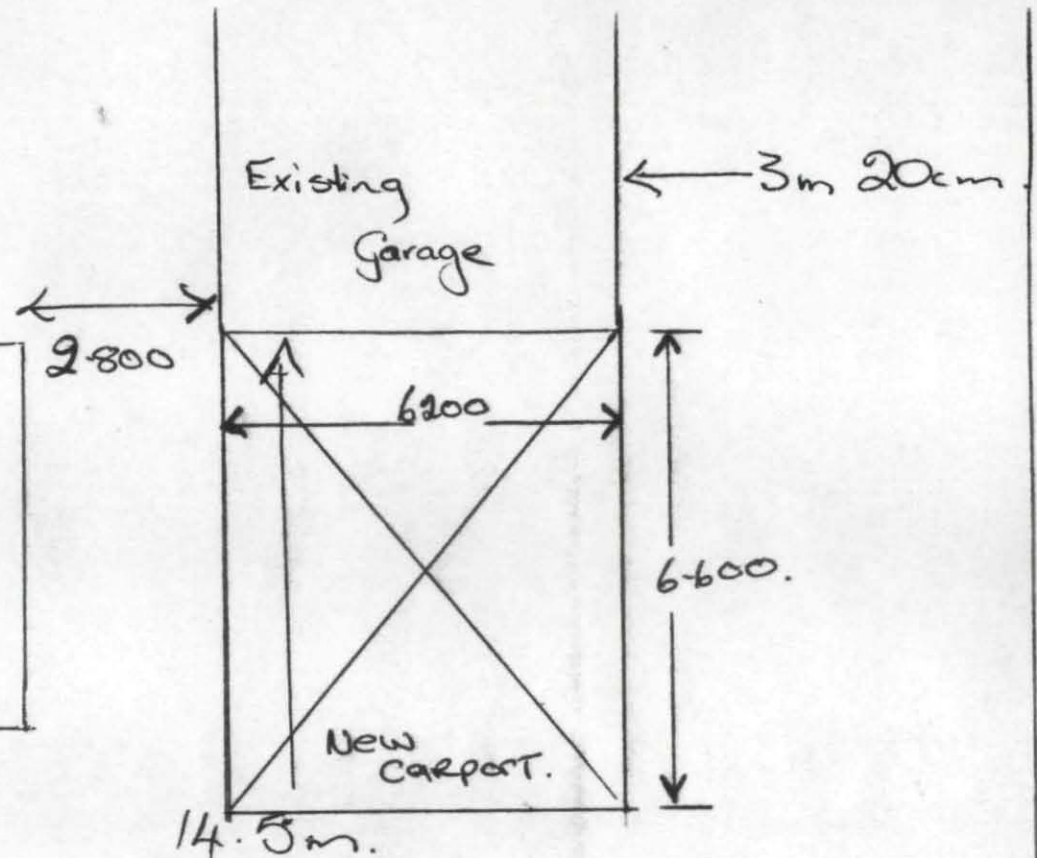
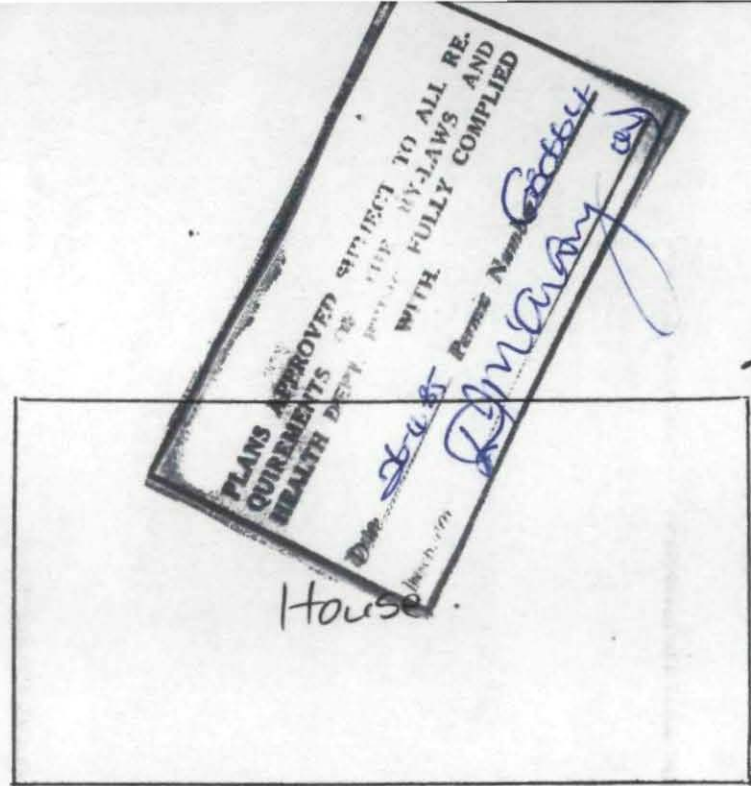
SEWER CONNECTIONS

Applicants are reminded of their responsibility to have regard to the levels of Council's drainage services before construction of a building commences. Service levels can be obtained from the District Engineer's Office, Depot Street. Failure to do so may result in plumbing alterations or pumping being required.

DEVELOPMENT CONTRIBUTIONS

If you are contemplating a residential development which comprises 3 or more new units, or 2 or more additional units, or an industrial or commercial development, the value of which exceeds \$100,000, you will be liable to make a development contribution to the Rotorua District Council. If your proposal comes within this levy you are advised to contact the District Town Planning Department for further information.

Rodger St.

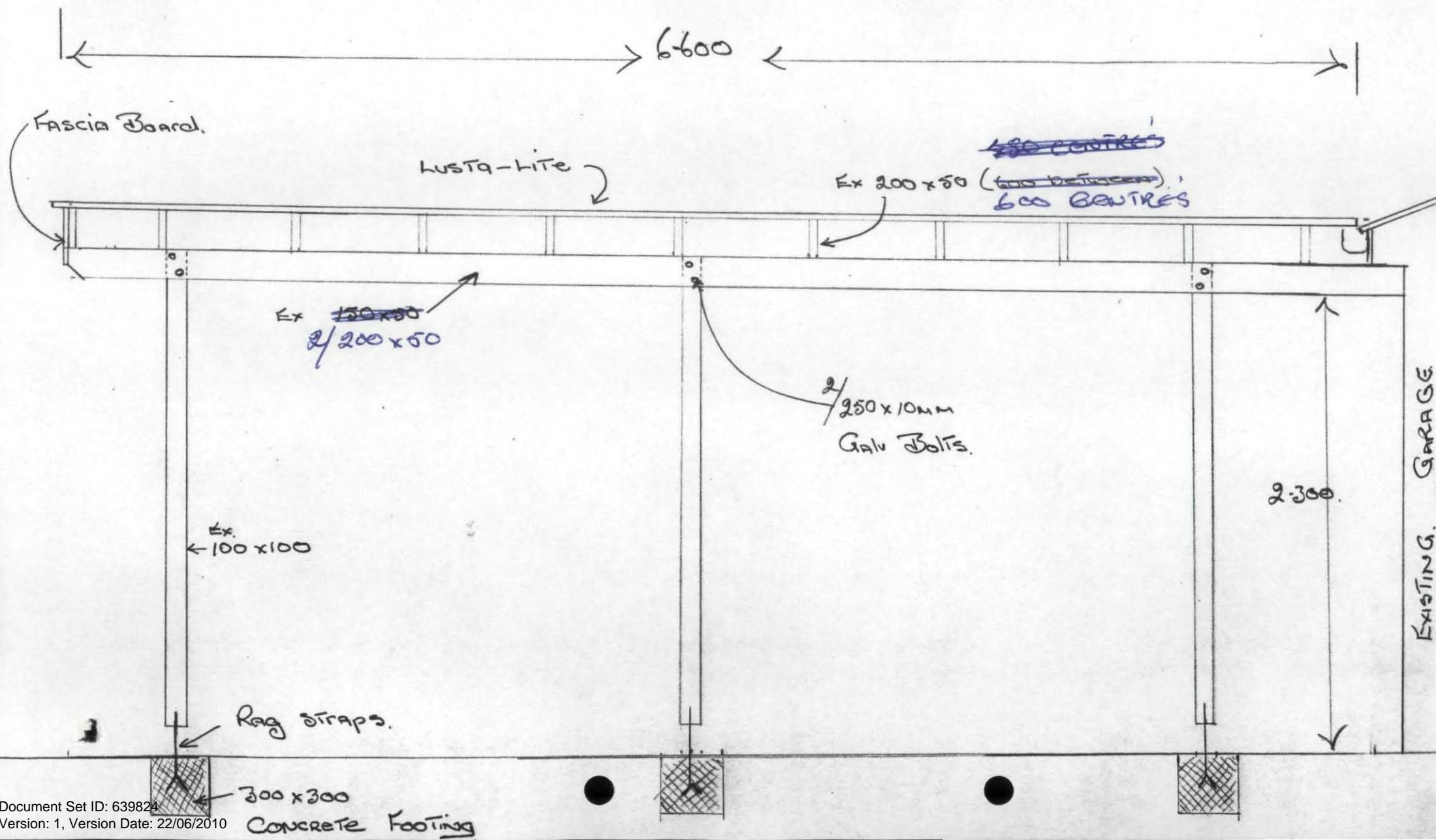


Joanne Cres.

access from St.

WALL ELEVATION of Airport.

WHICH ~~IS~~



FRONT ELEVATION of Carport.

